



# Inspection Report

**Brian Bailey**

**Property Address:**  
1234 Park Ave  
San Diego CA 92120



856 Esperanza

**BHI San Diego / Bailey's Home Inspections**

**Brian R. Bailey**  
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<b>Date:</b> 9/4/2018	<b>Time:</b> 01:00 PM	<b>Report ID:</b> 1234ParkAve
<b>Property:</b> 1234 Park Ave San Diego CA 92120	<b>Customer:</b> Brian Bailey	<b>Real Estate Professional:</b> Carrie Bailey Century 21 Award

**Comment Key or Definitions**

The following definitions of comment descriptions represent this inspection report. All comments by the inspector should be considered before purchasing this home. Any recommendations by the inspector to repair or replace suggests a second opinion or further inspection by a qualified contractor. All costs associated with further inspection fees and repair or replacement of item, component or unit should be considered before you purchase the property.

**Inspected (IN)** = I visually observed the item, component or unit and if no other comments were made then it appeared to be functioning as intended allowing for normal wear and tear.

**Not Inspected (NI)** = I did not inspect this item, component or unit and made no representations of whether or not it was functioning as intended and will state a reason for not inspecting.

**Not Present (NP)** = This item, component or unit is not in this home or building.

**(Repair or Replace)** = The item, component or unit is not functioning as intended, or needs further inspection by a qualified contractor. Items, components or units that can be repaired to satisfactory condition may not need replacement.

**In Attendance:**

Customer and their agent

**Type of building:**

Single Family (2 story)

**Approximate age of building:**

Over 10 Years

**Temperature:**

Over 65 (F) = 18 (C)

**Weather:**

Clear

The home inspector shall observe: Roof covering; Roof drainage systems; Flashings; Skylights, chimneys, and roof penetrations; and Signs of leaks or abnormal condensation on building components. The home inspector shall: Describe the type of roof covering materials; and Report the methods used to observe the roofing. The home inspector is not required to: Walk on the roofing; or Observe attached accessories including but not limited to solar systems, antennae, and lightning arrestors.

**Comments:**

**1.0** As a home inspector I am not allowed to walk on tile roofs. I observed what I could of the roofing from the second story windows and from the ground. No broken, cracked, or slipped tiles observed from second floor windows or from the ground.



1.0 Item 1(Picture) Tile roof covering





1.0 Item 2(Picture) Tile roof covering



1.0 Item 3(Picture) Tile roof covering

1.2 Gable vents present in attic with screens to keep out birds and other critters.



1.2 Item 1(Picture) Gable Vents in the attic

1.4 No signs of water intrusion in the attic.



1.4 Item 1(Picture) No water intrusion in attic



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The roof of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Roof coverings and skylights can appear to be leak proof during inspection and weather conditions. Our inspection makes an attempt to find a leak but sometimes cannot. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

2. Exterior

The home inspector shall observe: Wall cladding, flashings, and trim; Entryway doors and a representative number of windows; Garage door operators; Decks, balconies, stoops, steps, areaways, porches and applicable railings; Eaves, soffits, and fascias; and Vegetation, grading, drainage, driveways, patios, walkways, and retaining walls with respect to their effect on the condition of the building. The home inspector shall: Describe wall cladding materials; Operate all entryway doors and a representative number of windows; Operate garage doors manually or by using permanently installed controls for any garage door operator; Report whether or not any garage door operator will automatically reverse or stop when meeting reasonable resistance during closing; and Probe exterior wood components where deterioration is suspected. The home inspector is not required to observe: Storm windows, storm doors, screening, shutters, awnings, and similar seasonal accessories; Fences; Presence of safety glazing in doors and windows; Garage door operator remote control transmitters; Geological conditions; Soil conditions; Recreational facilities (including spas, saunas, steam baths, swimming pools, tennis courts, playground equipment, and other exercise, entertainment, or athletic facilities); Detached buildings or structures; or Presence or condition of buried fuel storage tanks. The home inspector is not required to: Move personal items, panels, furniture, equipment, plant life, soil, snow, ice or debris that obstructs access or visibility.

		IN	NI	NP	RR	Styles & Materials
2.0	Wall Cladding Flashing and Trim	•				<b>Siding Style:</b> Cement stucco
2.1	Doors (Exterior)	•				<b>Exterior Entry Doors:</b> Wood
2.2	Windows				•	<b>Appurtenance:</b> Covered porch Patio
2.3	Decks, Balconies, Stoops, Steps, Areaways, Porches, Patio/Cover and Applicable Railings				•	<b>Driveway:</b> Concrete
2.4	Vegetation, Grading, Drainage, Driveways, Patio Floor, Walkways and Retaining Walls (With respect to their effect on the condition of the building)				•	
2.5	Eaves, Soffits and Fascias	•				
2.6	Water faucets (hose bibs)	•				
2.7	Light fixtures and electrical outlets (exterior)				•	
2.8	Other	•			•	

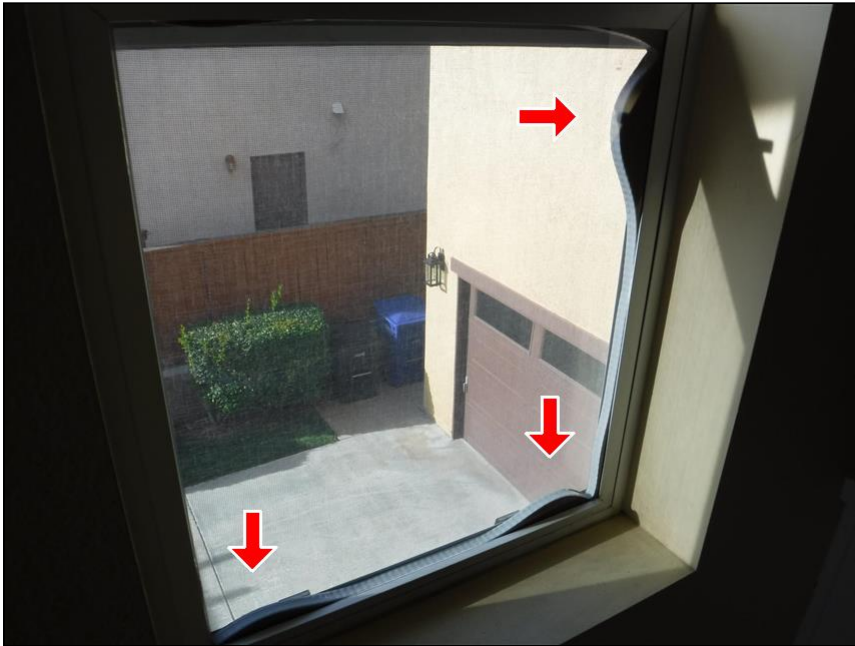
IN= Inspected, NI= Not Inspected, NP= Not Present, RR= Repair or Replace

Comments:

**2.2** There is a window tint on the inside of the windows in the stairwell leading to the upstairs of the house. On numerous windows this tint is bubbling up and cracking. There are numerous windows throughout the house with broken seals. The windows appear to be original to the house. There are broken and bent window screens throughout the house. The window in the master bedroom has a broken track limiting it from being fully opened.



2.2 Item 1(Picture) Window tint bubbling

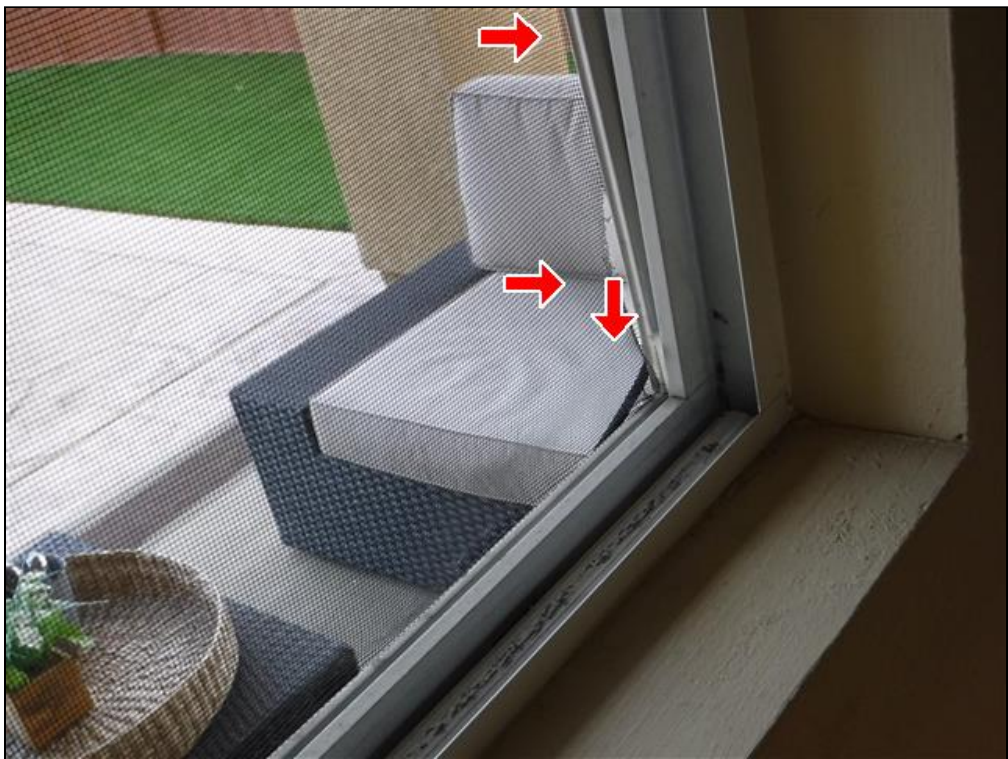


2.2 Item 2(Picture) Broken seal in window

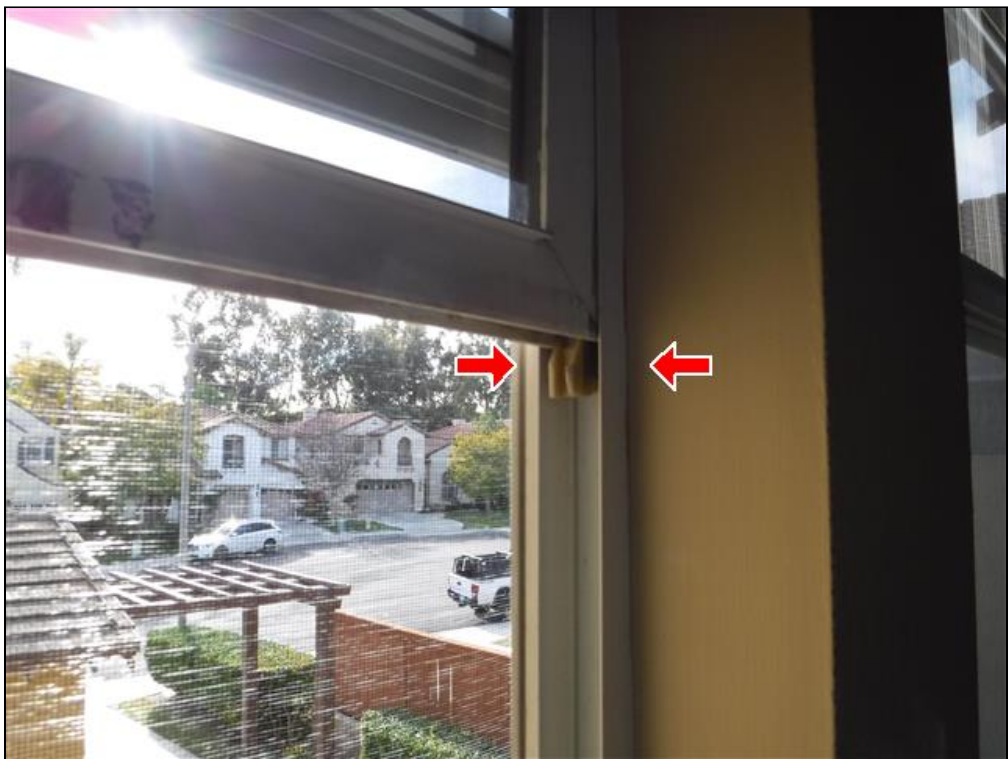


2.2 Item 3(Picture) Broken window seal





2.2 Item 4(Picture) Torn and bent window screen



2.2 Item 5(Picture) Broken window track

**2.3** There are numerous cracks on the front steps. There is a crack on the front stoop covering the entire width of the stoop. There is some wood rot present on the arbor over the driveway. There is extensive rust on the brackets of the base for the arbor.



2.3 Item 1(Picture) Crack on front steps to house



2.3 Item 2(Picture) Crack on the front stoop



2.3 Item 3(Picture) Front stoop crack





2.3 Item 4(Picture) Arbor



2.3 Item 5(Picture) Rust on brackets



2.3 Item 6(Picture) Rust on arbor bracket

**2.4** The retaining wall on the side of the house shows signs of efflorescence (white powdery deposits). This is a sign of water intrusion. Efforts should be made to identify the source of the moisture and correct this condition to help avoid future damage or crumbling of the retaining wall.



2.4 Item 1(Picture) Retaining wall efflorescence

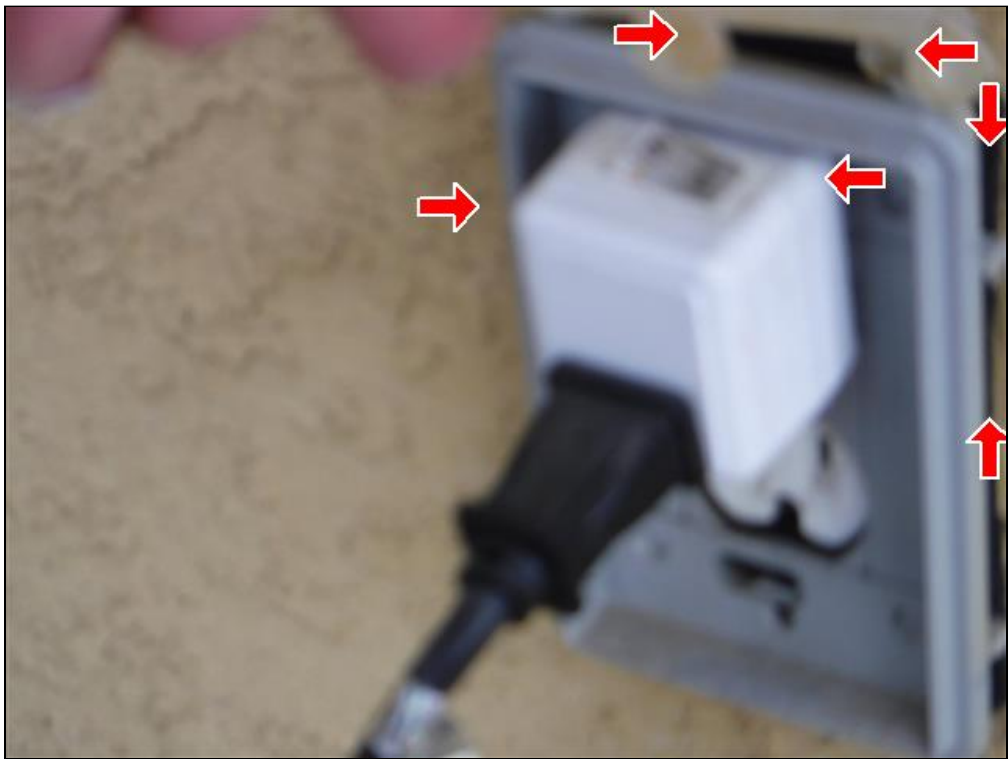


2.6 Ideally the water pressure should be between 60-80 PSI. The hose bibs measured 42 PSI.



2.6 Item 1(Picture) Hose bib water pressure

2.7 The back patio has decorative lights overhead. The receptacle the lights are plugged into is very loose and needs to be replaced. The switch used to turn on the lights is an interior switch and should not be utilized outside.



2.7 Item 1(Picture) Back patio decorative lights switch

**2.8** The exterior of the slab around the entire house has been painted. There are signs of moisture intrusion, efflorescence, and paint bubbling/chipping.



2.8 Item 1(Picture) Painted exterior slab



2.8 Item 2(Picture) Chipped paint on exterior slab

The exterior of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

3. Garage

		IN	NI	NP	RR	Styles & Materials
3.0	Garage Ceilings	•				<b>Garage Door Type:</b> Two automatic  <b>Garage Door Material:</b> Fiberglass  <b>Auto-opener</b>  <b>Manufacturer:</b> LIFT-MASTER
3.1	Garage Walls (including Firewall Separation)	•				
3.2	Garage Floor	•				
3.3	Garage Door (s)	•				
3.4	Garage window (s)	•				
3.5	Occupant Door (from garage to inside of home)	•				
3.6	Garage Door Operators (Report whether or not doors will reverse when met with resistance)	•				
IN= Inspected, NI= Not Inspected, NP= Not Present, RR= Repair or Replace		IN	NI	NP	RR	

Comments:

3.2 Epoxy flooring in the garage.



3.2 Item 1(Picture) Garage with epoxy flooring

## 4. Kitchen Components and Appliances

The home inspector shall observe and operate the basic functions of the following kitchen appliances: Permanently installed dishwasher, through its normal cycle; Range, cook top, and permanently installed oven; Trash compactor; Garbage disposal; Ventilation equipment or range hood; and Permanently installed microwave oven. The home inspector is not required to observe: Clocks, timers, self-cleaning oven function, or thermostats for calibration or automatic operation; Non built-in appliances; or Refrigeration units. The home inspector is not required to operate: Appliances in use; or Any appliance that is shut down or otherwise inoperable.

		IN	NI	NP	RR	Styles & Materials
4.0	Ceiling	•				<b>Dishwasher Brand:</b> FRIGIDAIRE
4.1	Walls	•				<b>Disposer Brand:</b> BADGER
4.2	Floors	•				<b>Range/Oven:</b> FRIGIDAIRE
4.3	Doors	•				<b>Built in Microwave:</b> FRIGIDAIRE
4.4	Windows	•				<b>Cabinetry:</b> Wood
4.5	Counters and Cabinets (representative number)	•				<b>Countertop:</b> Tile
4.6	Plumbing Drain, Waste and Vent Systems	•				<b>Dryer Power Source:</b> Gas Connection
4.7	Plumbing Water Supply, Distribution System and Fixtures	•				<b>Dryer Vent:</b> Flexible Metal
4.8	Outlets, Switches and Fixtures	•				
4.9	Dishwasher	•				
4.10	Ranges/Ovens/Cooktops	•				
4.11	Range Hood (s)	•			•	
4.12	Food Waste Disposer	•				
4.13	Microwave Cooking Equipment	•				
4.14	Clothes Dryer Vent Piping	•			•	
		IN	NI	NP	RR	

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**Comments:**



**4.11** The old range hood is still in place. The new microwave is venting on the outside of the cabinet/top of the microwave. There is the ability to route the venting from the microwave up through the old range hood vent. It is recommended to route the venting up through the old hood vent or cap the old venting and remove the ducting.



4.11 Item 1(Picture) Old range hood



4.11 Item 2(Picture) Old range hood



4.12 Garbage disposal under the kitchen sink.



4.12 Item 1(Picture) Garbage/food disposal

**4.14** There is a lot of lint build up behind the dryer. There could possibly be a hole in the dryer vent metal hose or the connection to the dryer might not be tight. Recommend pulling out dryer and checking all connections and condition of the vent hose.



4.14 Item 1(Picture) Laundry room



4.14 Item 2(Picture) Lint build up behind dryer

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The built-in appliances of the home were inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

5. Rooms

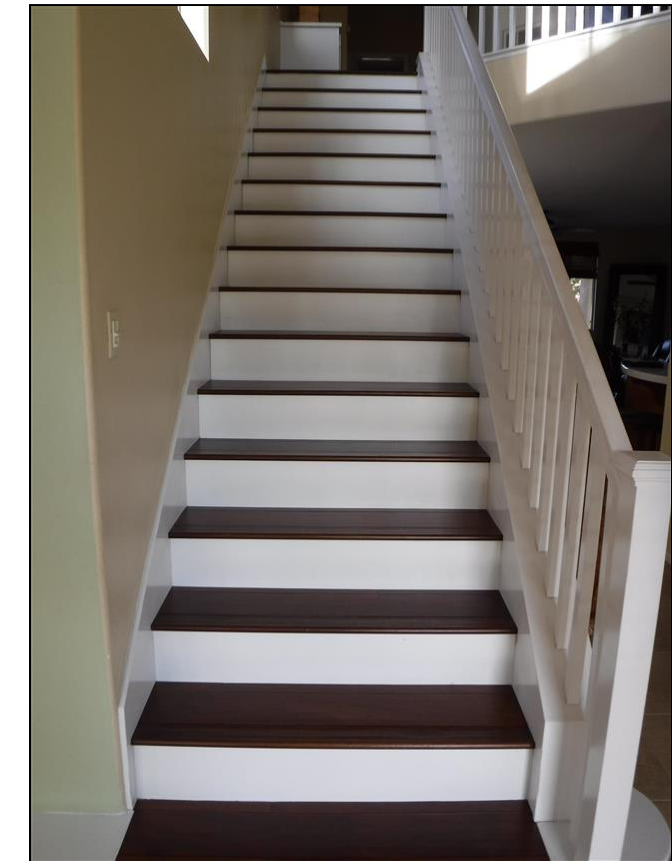
The home inspector shall observe: Walls, ceiling, and floors; Steps, stairways, balconies, and railings; Counters and a representative number of installed cabinets; and A representative number of doors and windows. The home inspector shall: Operate a representative number of windows and interior doors; and Report signs of abnormal or harmful water penetration into the building or signs of abnormal or harmful condensation on building components. The home inspector is not required to observe: Paint, wallpaper, and other finish treatments on the interior walls, ceilings, and floors; Carpeting; or Draperies, blinds, or other window treatments.

		IN	NI	NP	RR	Styles & Materials
5.0	Ceilings	•				<b>Ceiling Materials:</b> Gypsum Board
5.1	Walls	•				<b>Wall Material:</b> Gypsum Board
5.2	Floors	•				<b>Floor Covering(s):</b> Carpet Hardwood T&G Tile
5.3	Steps, Stairways, Balconies and Railings	•			•	<b>Window Types:</b> Sliders
5.4	Doors (representative number)	•				
5.5	Outlets, Switches and Fixtures	•				

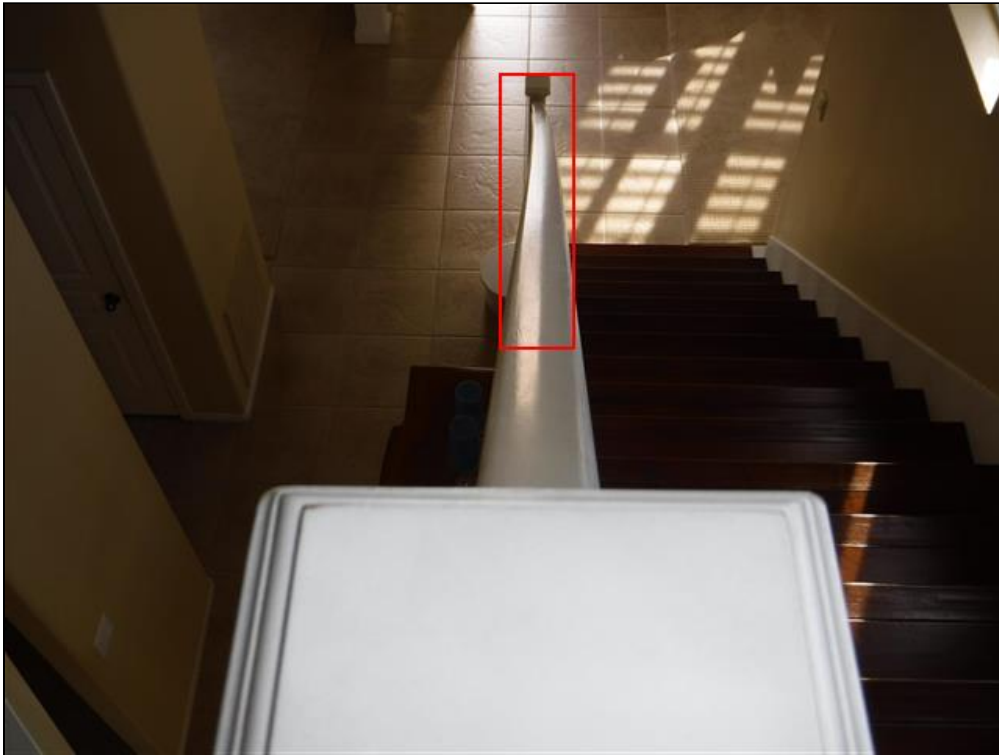
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Comments:

5.3 There is bowing of the railing on the staircase. The railing is also very flimsy and not recommended to lean on.



5.3 Item 1(Picture) Staircase



5.3 Item 2(Picture)

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The interior of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. The inspection did not involve moving furniture and inspecting behind furniture, area rugs or areas obstructed from view. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.



6. Bathroom and Components

		IN	NI	NP	RR	Styles & Materials
6.0	Ceiling	•				Exhaust Fans: Fan only
6.1	Walls	•				
6.2	Floors	•				
6.3	Doors	•				
6.4	Windows	•				
6.5	Counters and Cabinets (representative number)	•				
6.6	Plumbing Drain, Waste and Vent Systems	•				
6.7	Plumbing Water Supply, Distribution System and Fixtures	•			•	
6.8	Outlets, Switches and Fixtures	•				
6.9	Ehaust fan	•				
		IN	NI	NP	RR	

IN= Inspected, NI= Not Inspected, NP= Not Present, RR= Repair or Replace

Comments:

6.6 Plumbing under the sink in the bathroom.



6.6 Item 1(Picture) Bathroom sink plumbing



6.6 Item 2(Picture) Bathroom sink plumbing

6.7 All cold water fixtures in all three bathrooms are installed backwards. They turn the opposite direction to open and close.



6.7 Item 1(Picture) Master Bathroom sink fixture



7. Structural Components

The Home Inspector shall observe structural components including foundations, floors, walls, columns or piers, ceilings and roof. The home inspector shall describe the type of Foundation, floor structure, wall structure, columns or piers, ceiling structure, roof structure. The home inspector shall: Probe structural components where deterioration is suspected; Enter under floor crawl spaces, basements, and attic spaces except when access is obstructed, when entry could damage the property, or when dangerous or adverse situations are suspected; Report the methods used to observe under floor crawl spaces and attics; and Report signs of abnormal or harmful water penetration into the building or signs of abnormal or harmful condensation on building components. The home inspector is not required to: Enter any area or perform any procedure that may damage the property or its components or be dangerous to or adversely effect the health of the home inspector or other persons.

		IN	NI	NP	RR	Styles & Materials
7.0	Walls (Structural)	•				<b>Foundation:</b> Poured concrete
7.1	Floors (Structural)	•				<b>Floor Structure:</b> Not visible
7.2	Ceilings (Structural)	•				<b>Wall Structure:</b> Wood
IN= Inspected, NI= Not Inspected, NP= Not Present, RR= Repair or Replace		IN	NI	NP	RR	<b>Ceiling Structure:</b> 2X4

The structure of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

8. Plumbing System

The home inspector shall observe: Interior water supply and distribution system, including: piping materials, supports, and insulation; fixtures and faucets; functional flow; leaks; and cross connections; Interior drain, waste, and vent system, including: traps; drain, waste, and vent piping; piping supports and pipe insulation; leaks; and functional drainage; Hot water systems including: water heating equipment; normal operating controls; automatic safety controls; and chimneys, flues, and vents; Fuel storage and distribution systems including: interior fuel storage equipment, supply piping, venting, and supports; leaks; and Sump pumps. The home inspector shall describe: Water supply and distribution piping materials; Drain, waste, and vent piping materials; Water heating equipment; and Location of main water supply shutoff device. The home inspector shall operate all plumbing fixtures, including their faucets and all exterior faucets attached to the house, except where the flow end of the faucet is connected to an appliance. The home inspector is not required to: State the effectiveness of anti-siphon devices; Determine whether water supply and waste disposal systems are public or private; Operate automatic safety controls; Operate any valve except water closet flush valves, fixture faucets, and hose faucets; Observe: Water conditioning systems; Fire and lawn sprinkler systems; On-site water supply quantity and quality; On-site waste disposal systems; Foundation irrigation systems; Spas, except as to functional flow and functional drainage; Swimming pools; Solar water heating equipment; or Observe the system for proper sizing, design, or use of proper materials.

		IN	NI	NP	RR	Styles & Materials
8.0	Plumbing Drain, Waste and Vent Systems	•				<b>Water Source:</b> Public
8.1	Plumbing Water Supply, Distribution System and Fixtures	•			•	<b>Plumbing Water Supply</b> <b>(into home):</b> Not visible
8.2	Hot Water Systems, Controls, Chimneys, Flues and Vents	•				<b>Plumbing Water</b>
8.3	Main Water Shut-off Device (Describe location)	•				<b>Distribution (inside home):</b> PVC
8.4	Main Fuel Shut-off (Describe Location)	•				<b>Washer Drain Size:</b> 2" Diameter
IN= Inspected, NI= Not Inspected, NP= Not Present, RR= Repair or Replace		IN	NI	NP	RR	<b>Water Heater Power</b> <b>Source:</b> Gas (quick recovery) <b>Water Heater Capacity:</b> 50 Gallon (2-3 people) <b>Water Heater Location:</b> Garage <b>WH Manufacturer:</b> RHEEM

Comments:

8.1 The seal on the toilet in the half bathroom downstairs is non-operational. The toilet is loose and when moved, water seeps out around the base of the toilet. There are signs of moisture intrusion on the grout around the base of the toilet.



8.1 Item 1(Picture) Moisture at base of half bath toilet



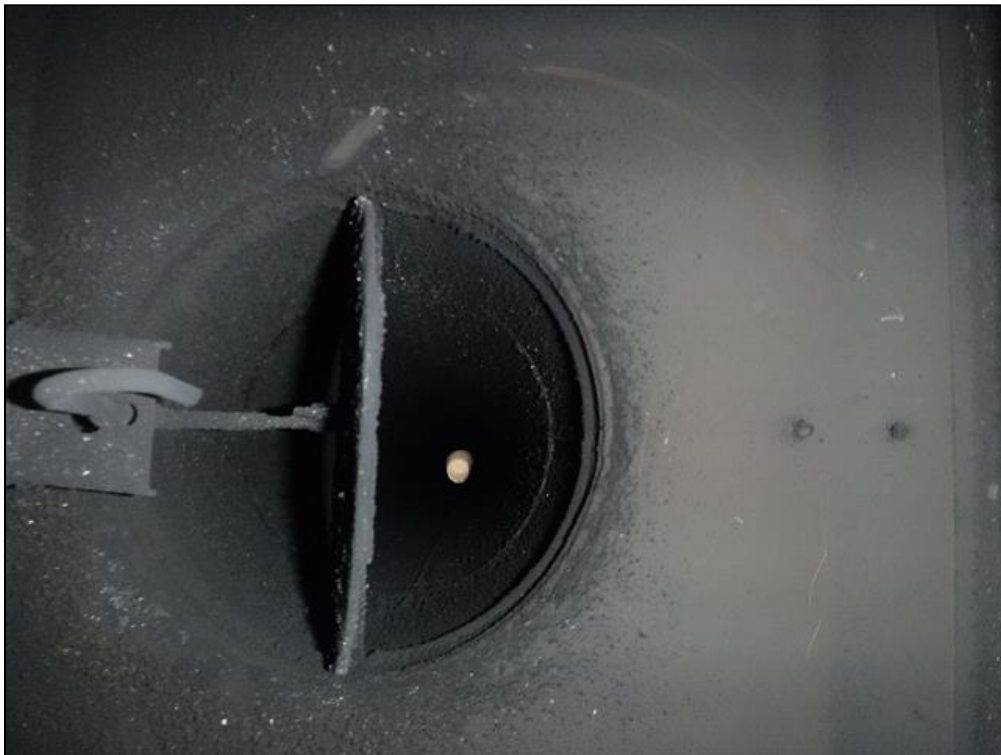
8.1 Item 2(Picture) Moisture stains in grout



8.2 Water heater was installed in 2015. It is located in the garage.



8.2 Item 1(Picture) Water Heater



8.2 Item 2(Picture) Chimney damper

8.3 Main water shut off is curb side on the street.

8.4 Main fuel shut off is on the side of the house to the left of the garage door.

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The plumbing in the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Washing machine drain line for example cannot be checked for leaks or the ability to handle the volume during drain cycle. Older homes with galvanized supply lines or cast iron drain lines can be obstructed and barely working during an inspection but then fails under heavy use. If the water is turned off or not used for periods of time (like a vacant home waiting for closing) rust or deposits within the pipes can further clog the piping system. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

9. Electrical System

The home inspector shall observe: Service entrance conductors; Service equipment, grounding equipment, main over current device, and main and distribution panels; Amperage and voltage ratings of the service; Branch circuit conductors, their over current devices, and the compatibility of their ampacities and voltages; The operation of a representative number of installed ceiling fans, lighting fixtures, switches and receptacles located inside the house, garage, and on the dwelling's exterior walls; The polarity and grounding of all receptacles within six feet of interior plumbing fixtures, and all receptacles in the garage or carport, and on the exterior of inspected structures; The operation of ground fault circuit interrupters; and Smoke detectors. The home inspector shall describe: Service amperage and voltage; Service entry conductor materials; Service type as being overhead or underground; and Location of main and distribution panels. The home inspector shall report any observed aluminum branch circuit wiring. The home inspector shall report on presence or absence of smoke detectors, and operate their test function, if accessible, except when detectors are part of a central system. The home inspector is not required to: Insert any tool, probe, or testing device inside the panels; Test or operate any over current device except ground fault circuit interrupters; Dismantle any electrical device or control other than to remove the covers of the main and auxiliary distribution panels; or Observe: Low voltage systems; Security system devices, heat detectors, or carbon monoxide detectors; Telephone, security, cable TV, intercoms, or other ancillary wiring that is not a part of the primary electrical distribution system; or Built-in vacuum equipment.

		IN	NI	NP	RR	Styles & Materials
9.0	Service and Grounding Equipment, Main Overcurrent Device, Main and Distribution Panels	•				<b>Electrical Service</b> <b>Conductors:</b> Below ground <b>Panel Capacity:</b> 200 AMP <b>Panel Type:</b> Circuit breakers <b>Branch wire 15 and 20</b> <b>AMP:</b> Copper <b>Wiring Methods:</b> Romex
9.1	Connected Devices and Fixtures (Observed from a representative number operation of ceiling fans, lighting fixtures, switches and receptacles located inside the house)	•			•	
9.2	Polarity and Grounding of Receptacles within 6 feet of interior plumbing fixtures, all receptacles in garage, carport and exterior walls of inspected structure	•				
9.3	Operation of GFCI (Ground Fault Circuit Interrupters)	•				
9.4	Location of Main and Distribution Panels	•				
9.5	Smoke Detectors	•				
9.6	Carbon Monoxide Detectors	•				
		IN	NI	NP	RR	

Comments:

Handwritten labels on the left side of the monitor back:

- C.A.M.A.D.
- Power R.A.
- I.W. R.A.
- Switch
- W.M.H.I.T.
- C.A.T.
- P.C.T. S.A.V.E.S.
- P.C.T. S.A.V.E.S.
- D.V.M.
- D.V.M.

Small white label near the bottom center:

SERVICE DISCONNECT

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**9.1** This bedroom light switch is loose and needs to be tightened or replaced.



9.1 Item 1(Picture) Bedroom light switch

**9.3** All GFCI's are present and operational.



9.3 Item 1(Picture) GFCI Protected

**9.4** Main panel is located on the side of the house.

**9.5** The smoke detector should be tested at common hallway to bedrooms upon moving in to home. There are smoke detectors in all bedrooms.



9.5 Item 1(Picture) Smoke detectors

**9.6** There is carbon monoxide in the upstairs hallway as well as in the downstairs hallway by the half bath.



9.6 Item 1(Picture) Carbon Monoxide detectors

The electrical system of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Outlets were not removed and the inspection was only visual. Any outlet not accessible (behind the refrigerator for example) was not inspected or accessible. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

10. Heating / Central Air Conditioning

The home inspector shall observe permanently installed heating and cooling systems including: Heating equipment; Cooling Equipment that is central to home; Normal operating controls; Automatic safety controls; Chimneys, flues, and vents, where readily visible; Solid fuel heating devices; Heat distribution systems including fans, pumps, ducts and piping, with supports, insulation, air filters, registers, radiators, fan coil units, convectors; and the presence of an installed heat source in each room. The home inspector shall describe: Energy source; and Heating equipment and distribution type. The home inspector shall operate the systems using normal operating controls. The home inspector shall open readily openable access panels provided by the manufacturer or installer for routine homeowner maintenance. The home inspector is not required to: Operate heating systems when weather conditions or other circumstances may cause equipment damage; Operate automatic safety controls; Ignite or extinguish solid fuel fires; or Observe: The interior of flues; Fireplace insert flue connections; Humidifiers; Electronic air filters; or The uniformity or adequacy of heat supply to the various rooms.

		IN	NI	NP	RR	Styles & Materials
10.0	Heating Equipment	•				Heat Type: Furnace
10.1	Normal Operating Controls	•				Energy Source: Gas
10.2	Automatic Safety Controls	•				Number of Heat Systems (excluding wood): One
10.3	Distribution Systems (including fans, pumps, ducts and piping, with supports, insulation, air filters, registers, radiators, fan coil units and convectors)	•				Ductwork: Insulated
10.4	Presence of Installed Heat Source in Each Room	•				Filter Type: Disposable
10.5	Gas/LP Firelogs and Fireplaces	•			•	Operable Fireplaces: One
10.6	Cooling and Air Handler Equipment	•			•	Cooling Equipment Type: Air conditioner unit
10.7	Normal Operating Controls	•				Cooling Equipment Energy Source: Electricity
10.8	Presence of Installed Cooling Source in Each Room	•				Number of AC Only Units: One
IN= Inspected, NI= Not Inspected, NP= Not Present, RR= Repair or Replace		IN	NI	NP	RR	Central Air Brand: GOODMAN

Comments:



10.0 Furnace is located in the attic.



10.0 Item 1(Picture) Furnace



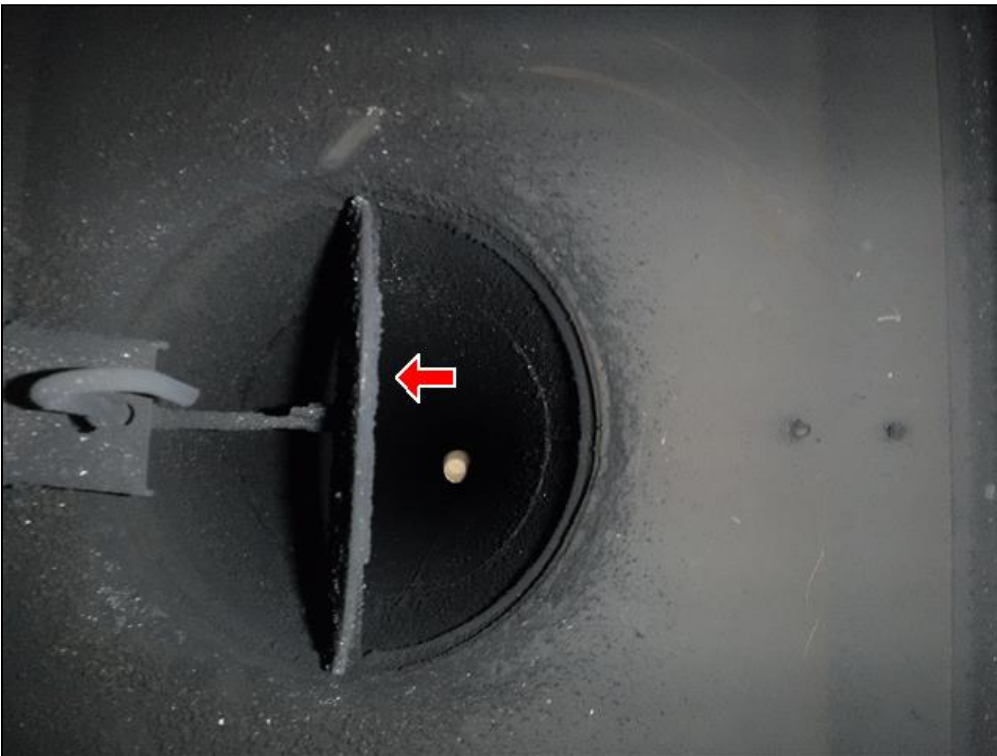
10.0 Item 2(Picture) Furnace in attic

10.4 All heat sources in the bedrooms were closed with the exception of the master bedroom.

10.5 Fire place in the living room has a lot of soot build up. Recommend getting it cleaned.



10.5 Item 1(Picture) Fire place



10.5 Item 2(Picture) Fire place damper

**10.6** The insulation on the cooling line is old and deteriorating. Recommend replacing with new insulation to prevent moisture/leaking.



10.6 Item 1(Picture) Air conditioner



10.6 Item 2(Picture) Insulation on cooling line

**10.8** All cooling sources in the bedrooms were closed with the exception of the master bedroom.

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The heating and cooling system of this home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. The inspection is not meant to be technically exhaustive. The inspection does not involve removal and inspection behind service door or dismantling that would otherwise reveal something only a licensed heat contractor would discover. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.



## Summary



**BHI San Diego / Bailey's Home Inspections**

**6658 Belle Haven Drive  
San Diego, CA 92120  
619.869.1162**

**Customer**  
Brian Bailey

**Address**  
1234 Park Ave  
San Diego CA 92120

The following items or discoveries indicate that these systems or components **do not function as intended** or **adversely affects the habitability of the dwelling**; or **warrants further investigation by a specialist**, or **requires subsequent observation**. This summary shall not contain recommendations for routine upkeep of a system or component to keep it in proper functioning condition or recommendations to upgrade or enhance the function or efficiency of the home. This Summary is not the entire report. The complete report may include additional information of concern to the customer. It is recommended that the customer read the complete report.

## 2. Exterior

### 2.2 Windows

#### **Repair or Replace**

There is a window tint on the inside of the windows in the stairwell leading to the upstairs of the house. On numerous windows this tint is bubbling up and cracking. There are numerous windows throughout the house with broken seals. The windows appear to be original to the house. There are broken and bent window screens throughout the house. The window in the master bedroom has a broken track limiting it from being fully opened.

### 2.3 Decks, Balconies, Stoops, Steps, Areaways, Porches, Patio/Cover and Applicable Railings

#### **Repair or Replace**

There are numerous cracks on the front steps. There is a crack on the front stoop covering the entire width of the stoop. There is some wood rot present on the arbor over the driveway. There is extensive rust on the brackets of the base for the arbor.

### 2.4 Vegetation, Grading, Drainage, Driveways, Patio Floor, Walkways and Retaining Walls (With respect to their effect on the condition of the building)

**Repair or Replace**

The retaining wall on the side of the house shows signs of efflorescence (white powdery deposits). This is a sign of water intrusion. Efforts should be made to identify the source of the moisture and correct this condition to help avoid future damage or crumbling of the retaining wall.

**2.7 Light fixtures and electrical outlets (exterior)****Repair or Replace**

The back patio has decorative lights overhead. The receptacle the lights are plugged into is very loose and needs to be replaced. The switch used to turn on the lights is an interior switch and should not be utilized outside.

**2.8 Other****Inspected, Repair or Replace**

The exterior of the slab around the entire house has been painted. There are signs of moisture intrusion, efflorescence, and paint bubbling/chipping.

**4. Kitchen Components and Appliances****4.11 Range Hood (s)****Inspected, Repair or Replace**

The old range hood is still in place. The new microwave is venting on the outside of the cabinet/top of the microwave. There is the ability to route the venting from the microwave up through the old range hood vent. It is recommended to route the venting up through the old hood vent or cap the old venting and remove the ducting.

**4.14 Clothes Dryer Vent Piping****Inspected, Repair or Replace**

There is a lot of lint build up behind the dryer. There could possibly be a hole in the dryer vent metal hose or the connection to the dryer might not be tight. Recommend pulling out dryer and checking all connections and condition of the vent hose.

**5. Rooms****5.3 Steps, Stairways, Balconies and Railings****Inspected, Repair or Replace**

There is bowing of the railing on the staircase. The railing is also very flimsy and not recommended to lean on.

**6. Bathroom and Components****6.7 Plumbing Water Supply, Distribution System and Fixtures****Inspected, Repair or Replace**

All cold water fixtures in all three bathrooms are installed backwards. They turn the opposite direction to open and close.

**8. Plumbing System****8.1 Plumbing Water Supply, Distribution System and Fixtures****Inspected, Repair or Replace**

The seal on the toilet in the half bathroom downstairs is non-operational. The toilet is loose and when moved, water seeps out around the base of the toilet. There are signs of moisture intrusion on the grout around the base of the toilet.

## 9. Electrical System

### 9.1 Connected Devices and Fixtures (Observed from a representative number operation of ceiling fans, lighting fixtures, switches and receptacles located inside the house)

#### Inspected, Repair or Replace

This bedroom light switch is loose and needs to be tightened or replaced.

## 10. Heating / Central Air Conditioning

### 10.5 Gas/LP Firelogs and Fireplaces

#### Inspected, Repair or Replace

Fire place in the living room has a lot of soot build up. Recommend getting it cleaned.

### 10.6 Cooling and Air Handler Equipment

#### Inspected, Repair or Replace

The insulation on the cooling line is old and deteriorating. Recommend replacing with new insulation to prevent moisture/leaking.

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Home inspectors are not required to report on the following: Life expectancy of any component or system; The causes of the need for a repair; The methods, materials, and costs of corrections; The suitability of the property for any specialized use; Compliance or non-compliance with codes, ordinances, statutes, regulatory requirements or restrictions; The market value of the property or its marketability; The advisability or inadvisability of purchase of the property; Any component or system that was not observed; The presence or absence of pests such as wood damaging organisms, rodents, or insects; or Cosmetic items, underground items, or items not permanently installed. Home inspectors are not required to: Offer warranties or guarantees of any kind; Calculate the strength, adequacy, or efficiency of any system or component; Enter any area or perform any procedure that may damage the property or its components or be dangerous to the home inspector or other persons; Operate any system or component that is shut down or otherwise inoperable; Operate any system or component that does not respond to normal operating controls; Disturb insulation, move personal items, panels, furniture, equipment, plant life, soil, snow, ice, or debris that obstructs access or visibility; Determine the presence or absence of any suspected adverse environmental condition or hazardous substance, including but not limited to mold, toxins, carcinogens, noise, contaminants in the building or in soil, water, and air; Determine the effectiveness of any system installed to control or remove suspected hazardous substances; Predict future condition, including but not limited to failure of components; Since this report is provided for the specific benefit of the customer(s), secondary readers of this information should hire a licensed inspector to perform an inspection to meet their specific needs and to obtain current information concerning this property.

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INVOICE

BHI San Diego / Bailey's Home Inspections  
6658 Belle Haven Drive  
San Diego, CA 92120  
619.869.1162  
Inspected By: Brian R. Bailey

Inspection Date: 9/4/2018  
Report ID: 1234ParkAve

Customer Info:	Inspection Property:
Brian Bailey	1234 Park Ave San Diego CA 92120
Customer's Real Estate Professional: Carrie Bailey Century 21 Award	

Inspection Fee:

Service	Price	Amount	Sub-Total
Heated Sq Ft 2,001 - 3,000	450.00	1	450.00
Military Discount	-50.00	1	-50.00
			Tax \$0.00
			Total Price \$400.00

Payment Method: Cash  
Payment Status: Paid At Time Of Inspection  
Note: